

**CONTRACTORS/WORKMANSHIP**

ROOF SHEETING IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS TO SUIT WIND SPEEDS OF THE AREA

PLUMBING CONNECTIONS AND INSTALLATIONS SHALL BE CARRIED OUT BY A QUALIFIED LICENSED PLUMBER

ELECTRICAL INSTALLATIONS SHALL BE CARRIED OUT BY A QUALIFIED LICENSED ELECTRICAL CONTRACTOR

MATERIALS AND WORKMANSHIP SHALL BE NEW AND IN GOOD ORDER AND COMPLY WITH RELEVANT STATE AND LOCAL COUNCIL BUILDING REGULATIONS

ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF LOCAL AUTHORITIES

WET AREAS TO COMPLY WITH BCA VOLUME TWO - 2016; SA 3.8.1.2, SA 3.2.2 AND AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.4.1)

BOUNDARY WALL WILL COMPLY WITH BCA PART 3.7.1.5 (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.3.1)

GARAGE LINTEL TO SUPPORT BLOCKWORK OVER GARAGE OPENING TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.1)

GLAZING IN ACCORDANCE WITH AS1288-2006  
GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS2047  
STEELWORK WILL BE IN ACCORDANCE WITH AS4100-1998  
MASONRY WALL CONSTRUCTION IN ACCORDANCE WITH AS3700 (TO COMPLY WITH REG15 & SCHEDULE 5 OF THE DEVELOPMENT REGULATIONS 2008)

**SMOKE ALARMS**

SMOKE ALARMS TO BE INSTALLED ARE TO BE MAINS POWERED, IONISATION TYPE CARRYING THE STANDARDS AUSTRALIA MARK AND SHOULD BE INSTALLED TO LOCAL AUTHORITIES GUIDELINES - SEE ELECTRICAL PLAN FOR LOCATIONS

SMOKE ALARMS TO COMPLY WITH SECTION 53A/REG 76B OF THE DEVELOPMENT REGULATIONS 2008 AND BCA PERFORMANCE REQUIREMENT 2.3.2

**TERMITE PROTECTION**

75mm VISUAL INSPECTION BARRIER TO BE MAINTAINED TO PERIMETER OF SLAB EDGE

THE BUILDER IS TO ADVISE THE LOCAL AUTHORITY AND THE OWNER OF THE PROPOSED METHOD OF PROTECTION IN ACCORDANCE WITH A.S. 3660.1 - 2014

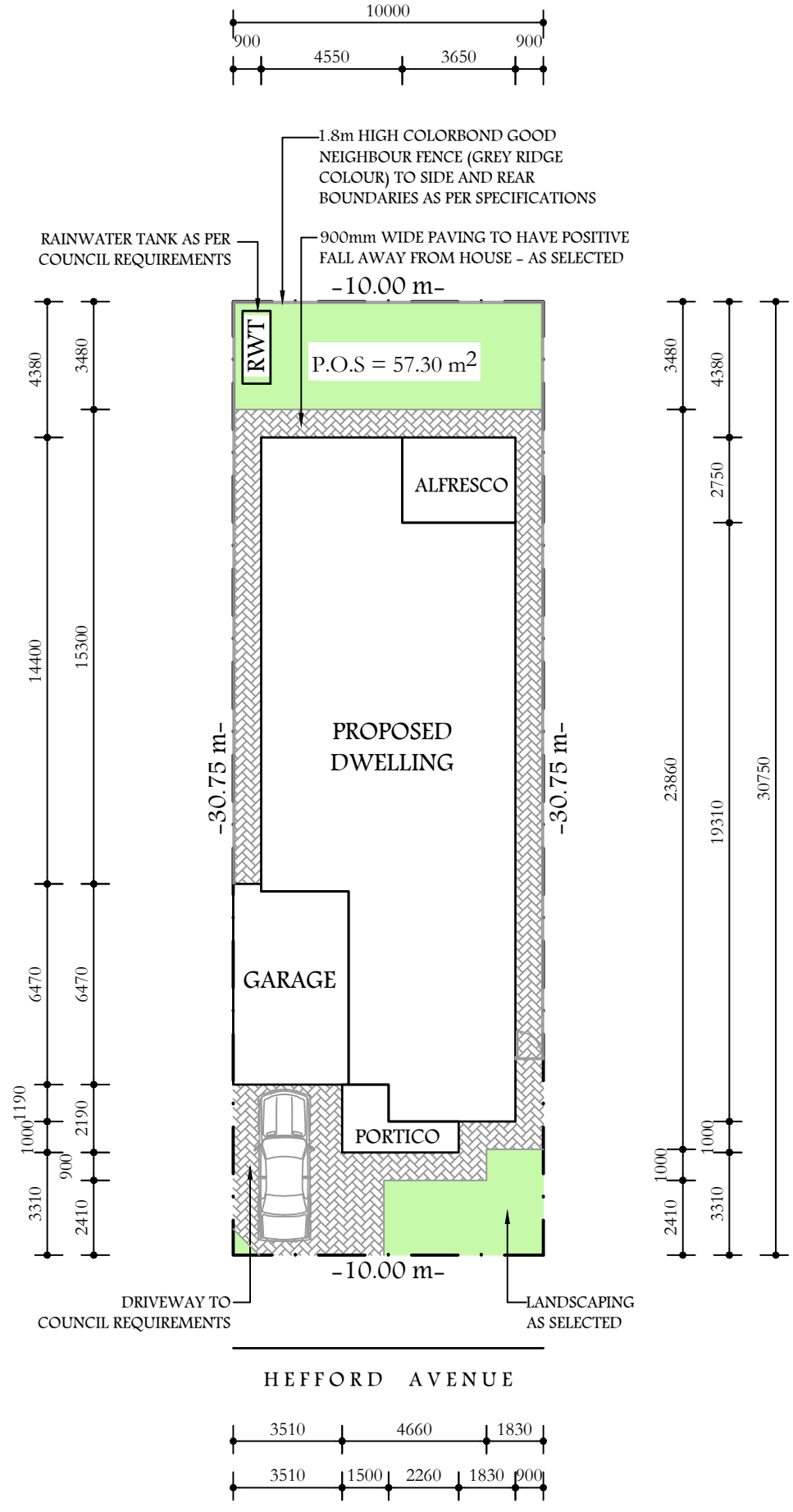
**SITE PLAN**

TITLE BOUNDARIES ARE APPROXIMATE ONLY AND WILL NEED TO BE DETERMINED BY A CERTIFIED FIELD SURVEY CARRIED OUT BY A LICENSED SURVEYOR

UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATIONS OF UNDERGROUND SERVICES

MINIMUM SIZE 2000 LITRES TANK FOR STORMWATER DETENTION. REFER TO ENGINEER'S SITEWORK AND DRAINAGE PLANS

SEDIMENTS AND EROSION BARRIERS TO BE INSTALLED AS PER LOCAL AUTHORITY REQUIREMENTS



**PROPOSED SITE PLAN**

SCALE 1:200 @ A3

**ENERGY EFFICIENCY NOTES**

- R2.5 HIGH DENSITY BATTS PLUS SARKING TO ALL EXTERNAL WALLS
- R2.5 HIGH DENSITY BATTS TO INTERNAL WALLS
- R6.0 HULK INSULATION ABOVE ALL ROOFED CEILINGS
- REFLECTIVE SARKING BELOW ALL ROOFING
- BUILDING FABRIC THERMAL INSULATION TO COMPLY WITH B.C.A.3.12.1.1
- STEGBAR ALUMINIUM SINGLE GLAZED CLEAR WINDOWS AND GLAZED DOORS THROUGHOUT
- ALL EXHAUST FANS TO BE SEALED WITH SELF-CLOSING DAMPERS
- ALL DOWNLIGHTS TO BE SEALED
- SEALED DOWNLIGHTS AS FOLLOWS: 30 LED
- WEATHER STRIP DRAFT PROTECTION DEVICE TO BOTTOM OF EXTERNAL HINGED DOORS WITH SEALS TO HEADS AND JAMBS
- FLOORING: TILES TO WET AREAS CONCRETE TO GARAGE, VINYL ELSEWHERE

**BUILDING SCHEDULE**

**ROOF**  
COLORBOND CUSTOM ORB ROOF. PITCH 25° AND 450 EAVES

**WALLS**  
TIMBER FRAME CONSTRUCTION WITH BRICK OUTER WALL

**CEILING HEIGHT**  
2.7m

**FLOOR**  
CONCRETE SLAB

**WINDOWS**  
POWDER COATED ALUMINIUM AWNING AND SLIDING AS SPECIFIED  
WINDOW HEAD HEIGHT - 2.4m

ALL INTERNAL DOORS ARE 2340mm HIGH

**GENERAL NOTES**

- SELECTED AIR-CONDITIONING AS PER OWNER TO MANUFACTURER'S SPECIFICATIONS
- FLLs ARE SUBJECT TO ENGINEERING DRAWINGS
- ESCAPE HINGE TO WC
- SMOKE ALARM TO COMPLY WITH AS3786
- SEAL GAPS AND CRACKS
- RAINWATER TANK TO BE PLUMBED TO LAUNDRY OR WC IN ACCORDANCE WITH THE LATEST AMENDMENTS TO BCA
- METAL ROOF AS APPLICABLE AS PER AUSTRALIAN STANDARDS
- HOT WATER SERVICE AS PER AS1529
- TERMITE PROTECTION AS PER AS3660.1 (2000)
- BUSH FIRE REQUIREMENTS AS PER AS3659 (2009)
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP
- MULTIPLE DETECTORS TO BE INTERLINKED AS PER BCA

| AREA SCHEDULE |                          |
|---------------|--------------------------|
| SITE          | 307.50 m <sup>2</sup>    |
| LIVING        | 147.41 m <sup>2</sup>    |
| PORTICO       | 5.55 m <sup>2</sup>      |
| GARAGE        | 23.39 m <sup>2</sup>     |
| ALFRESCO      | 11.03 m <sup>2</sup>     |
| TOTAL         | 187.38 m <sup>2</sup>    |
| SITE COVERAGE | 61%                      |
| P.O.S.        | 57.30 m <sup>2</sup> 19% |

**WORKING DRAWINGS**

| REV | PARTICULARS                                   | DATE       |
|-----|---|------------|
| 0   | For planning approval                         | 13.09.2019 |
| 1   | Minor amendments to PD as per client comments | 18.09.2019 |
| 2   | Working drawings                              | 10.10.2019 |
| 3   | Window sizes amended as per client comments   | 17.10.2019 |
| 4   | Energy efficiency notes added                 | 22.10.2019 |
| 5   | Client comments updated                       | 06.11.2019 |

## ROCKDALE HOMES

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**PROJECT / DRAWING PARTICULARS**  
**PROPOSED 1 No. SINGLE STOREY RESIDENCE**

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**SITE ADDRESS**  
LOT 70, HEFFORD AVENUE, CROYDON PARK SA

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|                     |            |
|---------------------|------------|
| <b>DRAWING No.</b>  | <b>REV</b> |
| KCW-RDH-19007-001   | 5          |
| <b>SHEET 1 OF 7</b> |            |

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**DATE**  
06 NOVEMBER 2019

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**KCW Building Designers**

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON THE DRAWING BEFORE COMMENCING ANY WORK. ANY DISCREPANCIES OR CONTRADICTIONS WILL BE REPORTED TO THE BUILDER / DESIGNER IMMEDIATELY. FIGURED DIMENSIONS WILL TAKE PRECEDENCE TO SCALE. THESE PLANS SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTATION, I.E. SPECIFICATIONS, SCHEDULES, CONSULTANTS AND AUTHORITIES REPORTS ETC.



## BUILDING SCHEDULE

**ROOF**  
 COLORBOND CUSTOM ORB ROOF. PITCH 25°  
 AND 450 EAVES

**WALLS**  
 TIMBER FRAME CONSTRUCTION WITH BRICK  
 OUTER WALL

**CEILING HEIGHT**  
 2.7m

**FLOOR**  
 CONCRETE SLAB

**WINDOWS**  
 POWDER COATED ALUMINIUM AWNING AND  
 SLIDING AS SPECIFIED  
 WINDOW HEAD HEIGHT - 2.4m

ALL INTERNAL DOORS ARE 2340mm HIGH

## GENERAL NOTES

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- FFLs ARE SUBJECT TO ENGINEERING DRAWINGS
- ESCAPE HINGE TO WC
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- BUSH FIRE REQUIREMENTS AS PER AS3659 (2009)
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP
- MULTIPLE DETECTORS TO BE INTERLINKED AS PER BCA

## AREA SCHEDULE

|               |                          |
|---------------|--------------------------|
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| LIVING        | 147.41 m <sup>2</sup>    |
| PORTICO       | 5.55 m <sup>2</sup>      |
| GARAGE        | 23.39 m <sup>2</sup>     |
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| TOTAL         | 187.38 m <sup>2</sup>    |
| SITE COVERAGE | 61%                      |
| P.O.S.        | 57.30 m <sup>2</sup> 19% |

## WORKING DRAWINGS

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PROJECT / DRAWING PARTICULARS  
**PROPOSED 1 No. SINGLE STOREY RESIDENCE**

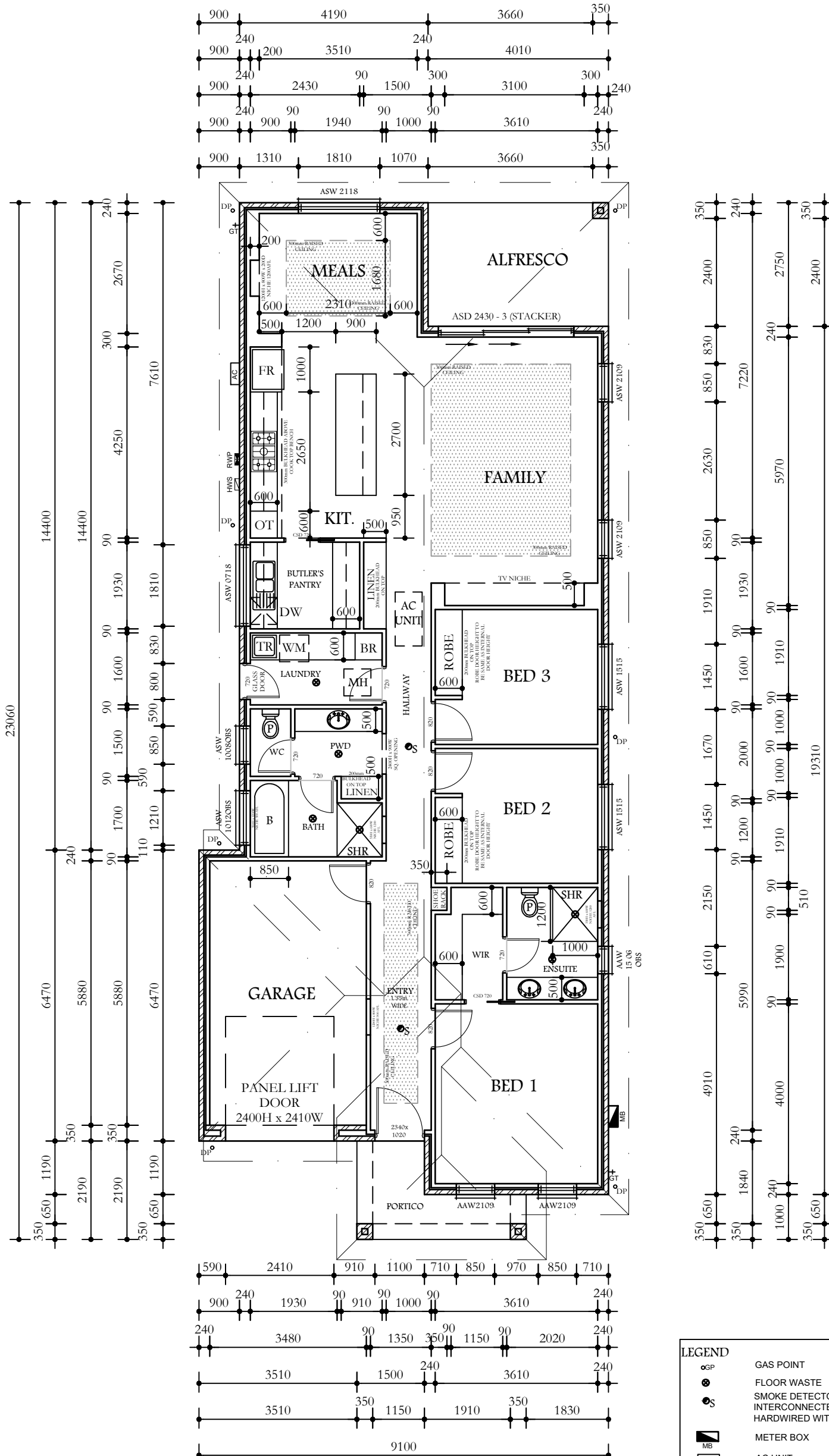
SITE ADDRESS  
 LOT 70, HEFFORD AVENUE,  
 CROYDON PARK SA

DRAWING No. REV  
 KCW-RDH-19007-002 5  
 SHEET 2 OF 7

DATE  
 06 NOVEMBER 2019



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## PROPOSED FLOOR PLAN

SCALE 1:100 @ A3

| LEGEND |  |
|--------|--|
|        | GAS POINT                              |
|        | FLOOR WASTE                            |
|        | SMOKE DETECTOR                         |
|        | INTERCONNECTED HARDWIRED WITH B/BACKUP |
|        | METER BOX                              |
|        | AC UNIT                                |
|        | HOT WATER SERVICE                      |
|        | GARDEN TAP                             |
|        | RAIN WATER PUMP                        |
|        | DOWN PIPE                              |
|        | NATIONAL BROADBAND NETWORK             |
|        | ELECTRICITY SAFETY SWITCH              |
|        | EXHAUST FAN                            |

SAFETY GLAZING REQUIRED FOR HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH BCA CLAUSE 3.6.4 (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.1.1)

- EXHAUST DISCHARGE INTO ROOF SPACE TO COMPLY WITH BCA CLAUSE 3.8.7.3 AND VENTILATION OF ROOF SPACE TO BE IN ACCORDANCE WITH BCA CLAUSE 3.8.7.4 (TO COMPLY WITH BCA PERFORMANCE REQUIREMENT 2.4.7)

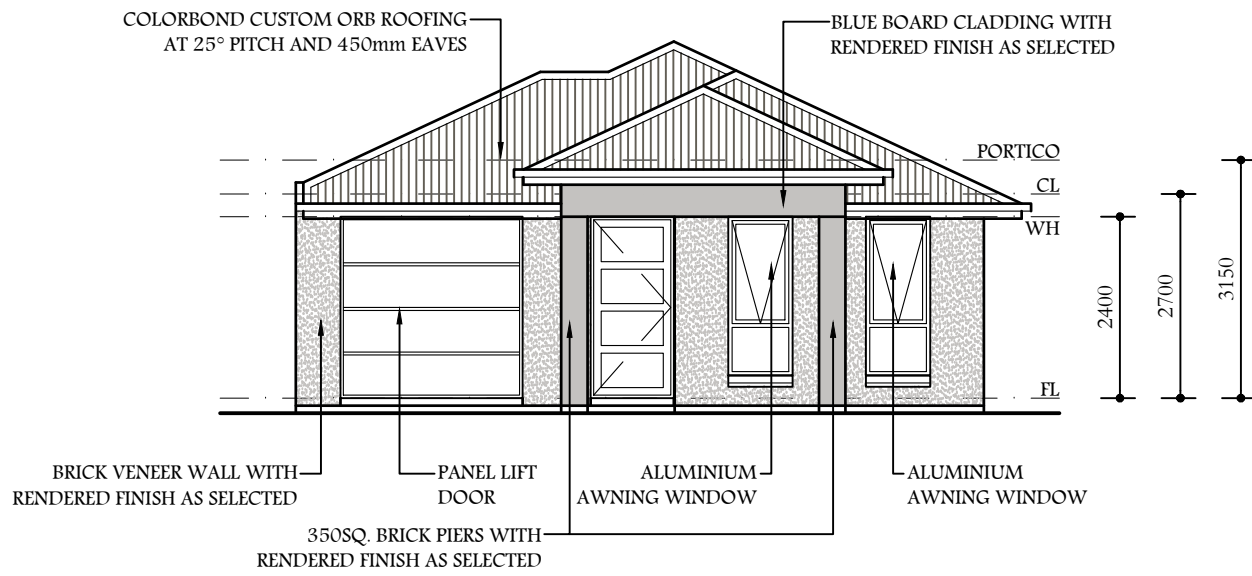
- Pliable building membrane installed in the external wall  
 -- TO COMPLY WITH AS/NZS 4200.1  
 -- IS INSTALLED TO AS4200.2  
 -- TO BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.4.7)

- THE FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS SHOULD BE  
 -- NOT LESS THAN 25 l/s FOR BATHROOM / SANITARY COMPARTMENT  
 -- NOT LESS THAN 40 l/s FOR KITCHEN OR LAUNDRY  
 -- THE DISCHARGE FROM THE BATHROOM / SANITARY COMPARTMENT OR LAUNDRY MUST BE DIRECTLY OR VIA A SHAFT / DUCT TO OUTDOOR AIR OR TO A ROOF SPACE WHICH COMPLIES WITH SECTION 3.7.8.4 (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.4.7)

**BRICK MASONRY**

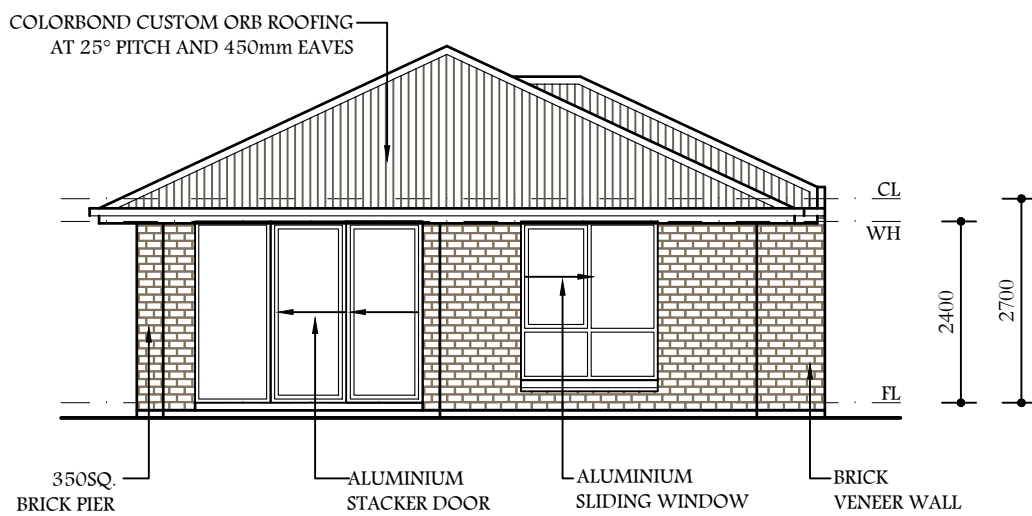
- TO COMPLY WITH AS3700 / AS4773.1 AND AS4773.2  
 - DPC TO BE IN ACCORDANCE WITH SECTION 3.3.5  
 - MASONRY UNITS, MORTAR MIX, MORTAR JOINTS, CAVITIES, WEEP HOLES, WALL TIES TO BE IN ACCORDANCE WITH SECTION 3.3.5  
 - (TO COMPLY WITH BCA PERFORMANCE REQUIREMENT 2.1.1, 2.2.2)

VENTILATION OF ALL ROOMS INCLUDING  
 - SIZE AND LOCATION OF ALL NATURAL OPENINGS  
 - EXHAUST FROM THE SANITARY COMPARTMENTS  
 - THE AIR LOCK REQUIRED FOR ANY SANITARY COMPARTMENT OPENING INTO A KITCHEN OR PANTRY  
 TO COMPLY WITH BCA PERFORMANCE REQUIREMENT 2.4.5



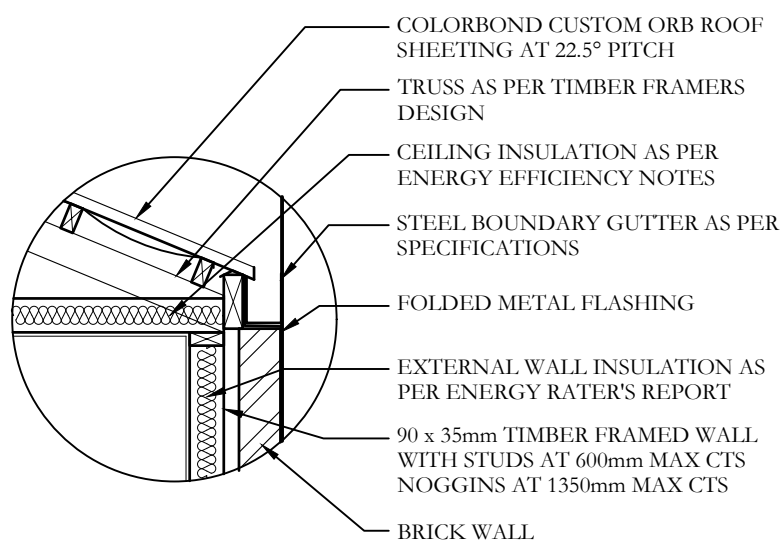
**HEFFORD AVENUE ELEVATION**

SCALE 1:100 @ A3



**EAST ELEVATION**

SCALE 1:100 @ A3



**BOUNDARY GUTTER DETAIL**

SCALE 1:20 @ A3

**WORKING DRAWINGS**

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**ROCKDALE HOMES**

PROJECT / DRAWING PARTICULARS  
**PROPOSED 1 No. SINGLE STOREY RESIDENCE**

SITE ADDRESS  
 LOT 70, HEFFORD AVENUE, CROYDON PARK SA

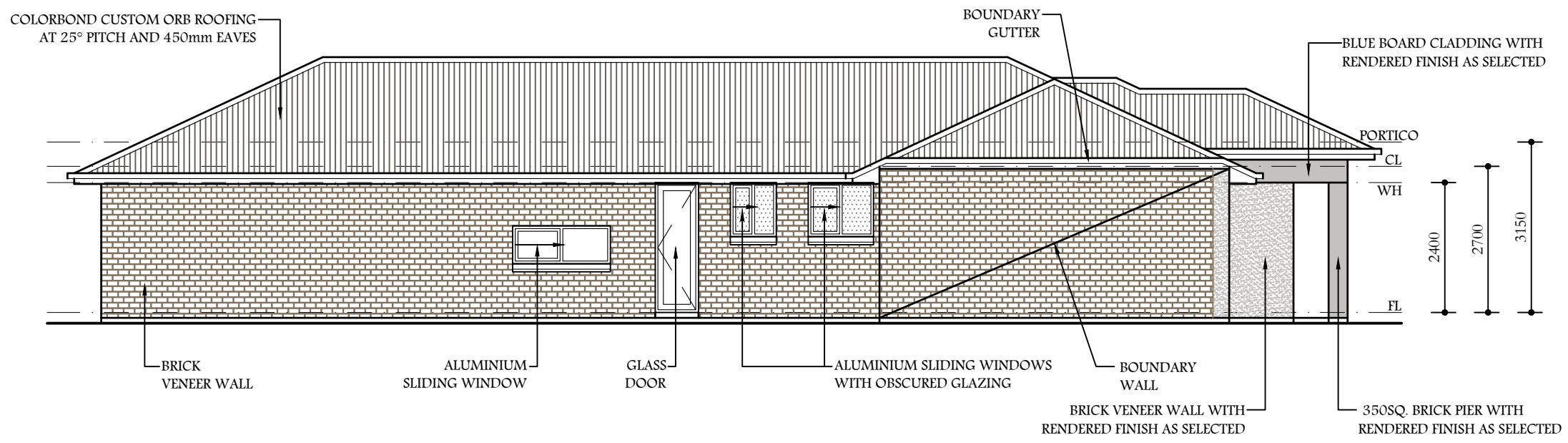
DRAWING No. **KCW-RDH-19007-003** REV **5**  
**SHEET 3 OF 7**

DATE  
 06 NOVEMBER 2019

**KCW Building Designers**

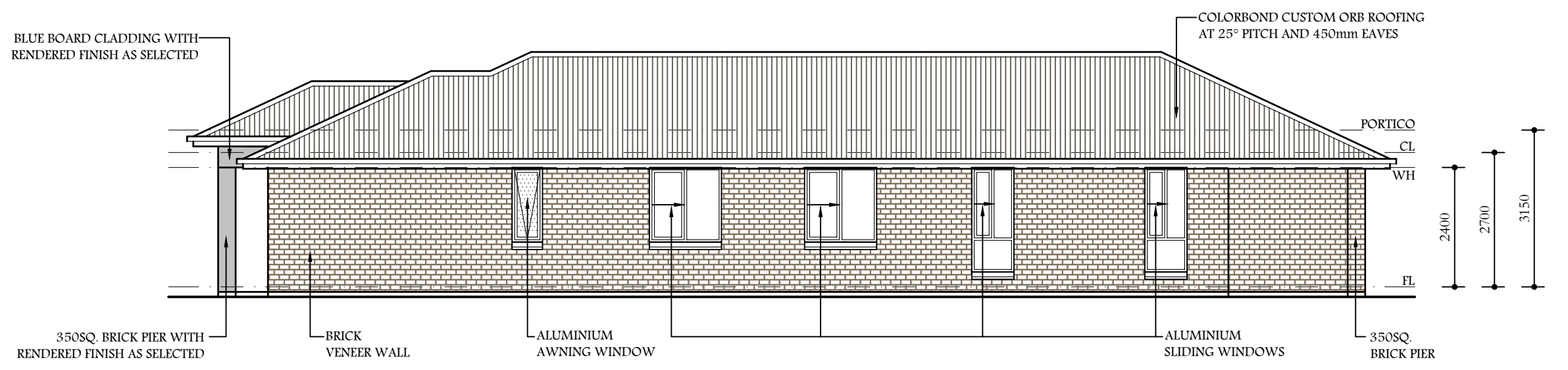
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**NORTH ELEVATION**

SCALE 1:100 @ A3



**SOUTH ELEVATION**

SCALE 1:100 @ A3

**WORKING DRAWINGS**

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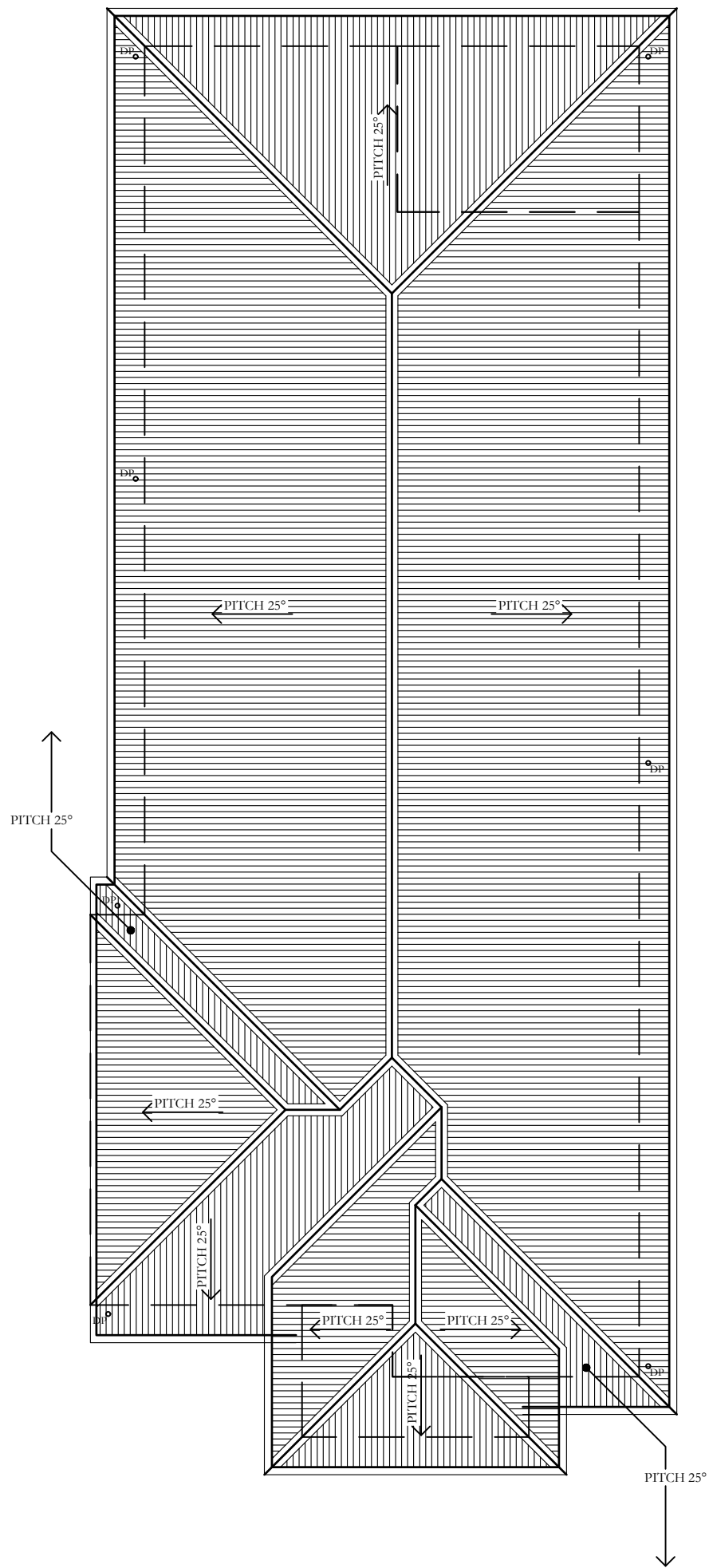
SITE ADDRESS  
 LOT 70, HEFFORD AVENUE,  
 CROYDON PARK SA

DRAWING No. **KCW-RDH-19007-004** REV **5**  
 SHEET 4 OF 7

DATE  
 06 NOVEMBER 2019



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## ROOF LAYOUT PLAN

SCALE 1:100 @ A3

| LEGEND |  |
|--------|--|
|        | GAS POINT                              |
|        | FLOOR WASTE                            |
|        | SMOKE DETECTOR                         |
|        | INTERCONNECTED HARDWIRED WITH B/BACKUP |
|        | METER BOX                              |
|        | AC UNIT                                |
|        | HOT WATER SERVICE                      |
|        | GARDEN TAP                             |
|        | RAIN WATER PUMP                        |
|        | DOWN PIPE                              |
|        | NATIONAL BROADBAND NETWORK             |
|        | ELECTRICITY SAFETY SWITCH              |
|        | EXHAUST FAN                            |

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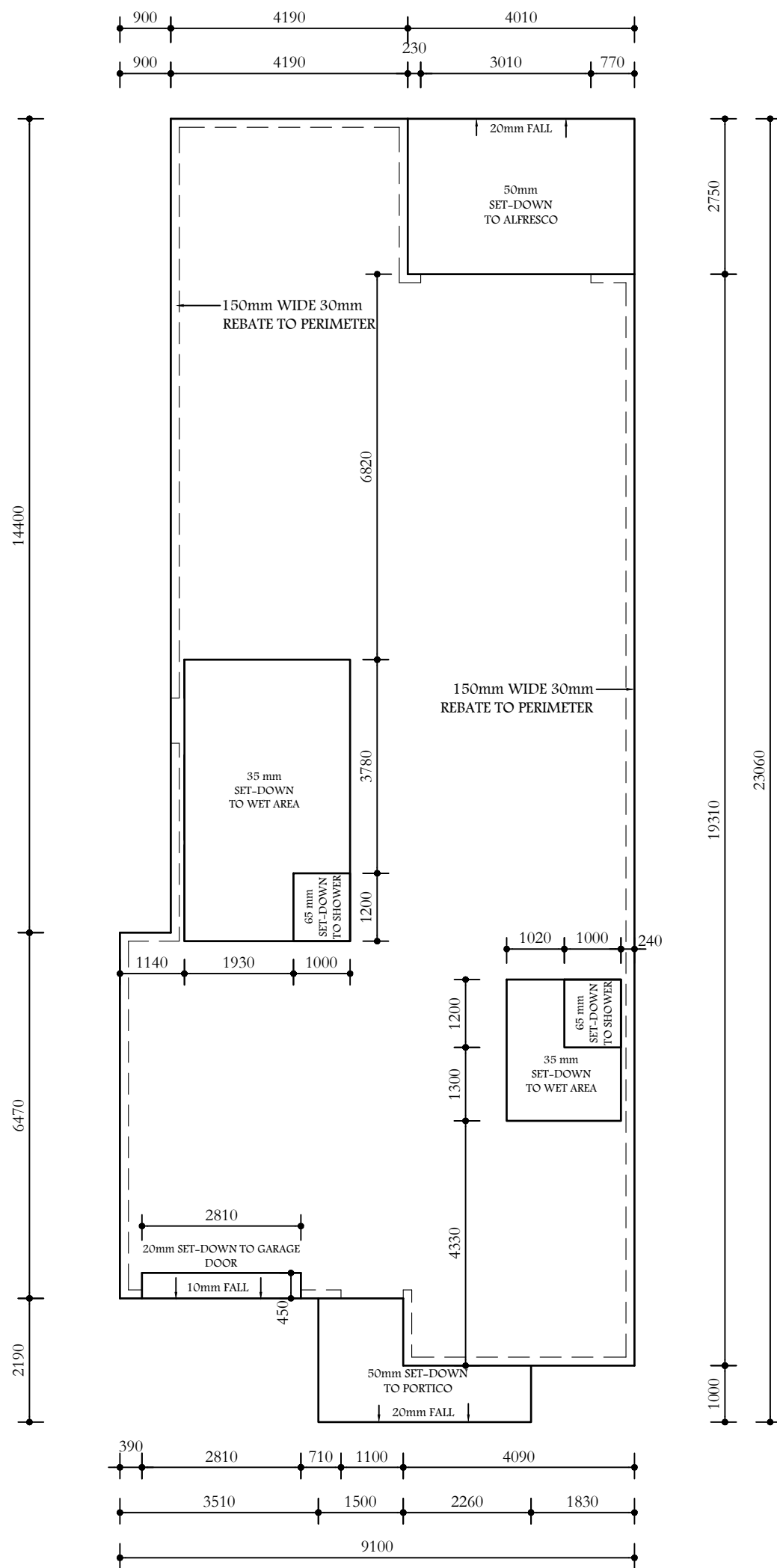
SITE ADDRESS  
LOT 70, HEFFORD AVENUE,  
CROYDON PARK SA

|                   |     |
|-------------------|-----|
| DRAWING No.       | REV |
| KCW-RDH-19007-005 | 5   |
| SHEET 5 OF 7      |     |

DATE  
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## CONCRETE SLAB LAYOUT PLAN

SCALE 1:100 @ A3

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**ROCKDALE  
HOMES**

#### PROJECT / DRAWING PARTICULARS

**PROPOSED 1 No. SINGLE  
STOREY RESIDENCE**

#### SITE ADDRESS

**LOT 70, HEFFORD AVENUE,  
CROYDON PARK SA**

#### DRAWING No.

**KCW-RDH-19007-006  
SHEET 6 OF 7**

#### REV

**5**

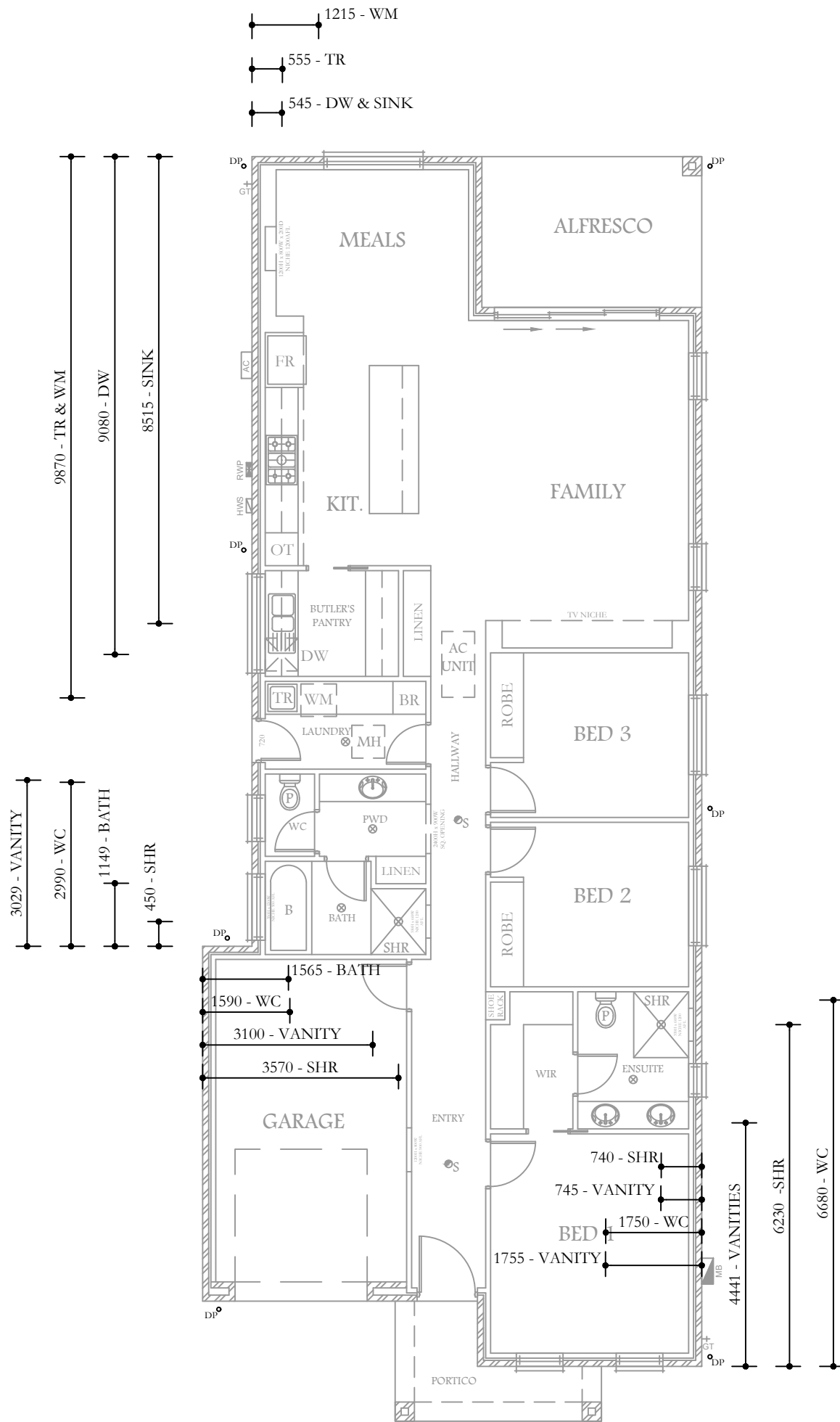
#### DATE

**06 NOVEMBER 2019**



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**PLUMBING LAYOUT PLAN**

SCALE 1:100 @ A3