

**CONTRACTORS/WORKMANSHIP**

ROOF SHEETING IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS TO SUIT WIND SPEEDS OF THE AREA

PLUMBING CONNECTIONS AND INSTALLATIONS SHALL BE CARRIED OUT BY A QUALIFIED LICENSED PLUMBER

ELECTRICAL INSTALLATIONS SHALL BE CARRIED OUT BY A QUALIFIED LICENSED ELECTRICAL CONTRACTOR

MATERIALS AND WORKMANSHIP SHALL BE NEW AND IN GOOD ORDER AND COMPLY WITH RELEVANT STATE AND LOCAL COUNCIL BUILDING REGULATIONS

ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS AND ANY BYLAWS OR REQUIREMENTS OF LOCAL AUTHORITIES

WET AREAS TO COMPLY WITH BCA VOLUME TWO - 2016; SA 3.8.1.2, SA 3.2.2 AND AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.4.1)

BOUNDARY WALL WILL COMPLY WITH BCA PART 3.7.1.5 (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.3.1)

GARAGE LINTEL TO SUPPORT BLOCKWORK OVER GARAGE OPENING TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.1)

GLAZING IN ACCORDANCE WITH AS1288-2006  
GLAZING ASSEMBLIES WILL BE ASSEMBLED AND INSTALLED IN ACCORDANCE WITH AS2047  
STEELWORK WILL BE IN ACCORDANCE WITH AS4100-1998  
MASONRY WALL CONSTRUCTION IN ACCORDANCE WITH AS3700 (TO COMPLY WITH REG15 & SCHEDULE 5 OF THE DEVELOPMENT REGULATIONS 2008)

**SMOKE ALARMS**

SMOKE ALARMS TO BE INSTALLED ARE TO BE MAINS POWERED, IONISATION TYPE CARRYING THE STANDARDS AUSTRALIA MARK AND SHOULD BE INSTALLED TO LOCAL AUTHORITIES GUIDELINES - SEE ELECTRICAL PLAN FOR LOCATIONS

SMOKE ALARMS TO COMPLY WITH SECTION 53A/REG 76B OF THE DEVELOPMENT REGULATIONS 2008 AND BCA PERFORMANCE REQUIREMENT 2.3.2

**TERMITE PROTECTION**

75mm VISUAL INSPECTION BARRIER TO BE MAINTAINED TO PERIMETER OF SLAB EDGE

THE BUILDER IS TO ADVISE THE LOCAL AUTHORITY AND THE OWNER OF THE PROPOSED METHOD OF PROTECTION IN ACCORDANCE WITH A.S. 3660.1

**SITE PLAN**

TITLE BOUNDARIES ARE APPROXIMATE ONLY AND WILL NEED TO BE DETERMINED BY A CERTIFIED FIELD SURVEY CARRIED OUT BY A LICENSED SURVEYOR

UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATIONS OF UNDERGROUND SERVICES

REFER TO ENGINEER'S SITework AND DRAINAGE PLANS FOR CAPACITY OF RAIN WATER TANK.

SEDIMENTS AND EROSION BARRIERS TO BE INSTALLED AS PER LOCAL AUTHORITY REQUIREMENTS



**GENERAL NOTES**

- SELECTED AIR-CONDITIONING AS PER OWNER TO MANUFACTURER'S SPECIFICATIONS
- FFLS ARE SUBJECT TO ENGINEERING DRAWINGS
- ESCAPE HINGE TO WC
- SMOKE ALARM TO COMPLY WITH AS3786
- SEAL GAPS AND CRACKS
- RAINWATER TANK TO BE PLUMBED TO LAUNDRY OR WC IN ACCORDANCE WITH THE LATEST AMENDMENTS TO BCA
- METAL ROOF AS APPLICABLE AS PER AUSTRALIAN STANDARDS
- HOT WATER SERVICE AS PER AS1529
- TERMITE PROTECTION AS PER AS3660.1 (2014)
- BUSH FIRE REQUIREMENTS AS PER AS3659 (2009)
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP
- MULTIPLE DETECTORS TO BE INTERLINKED AS PER BCA

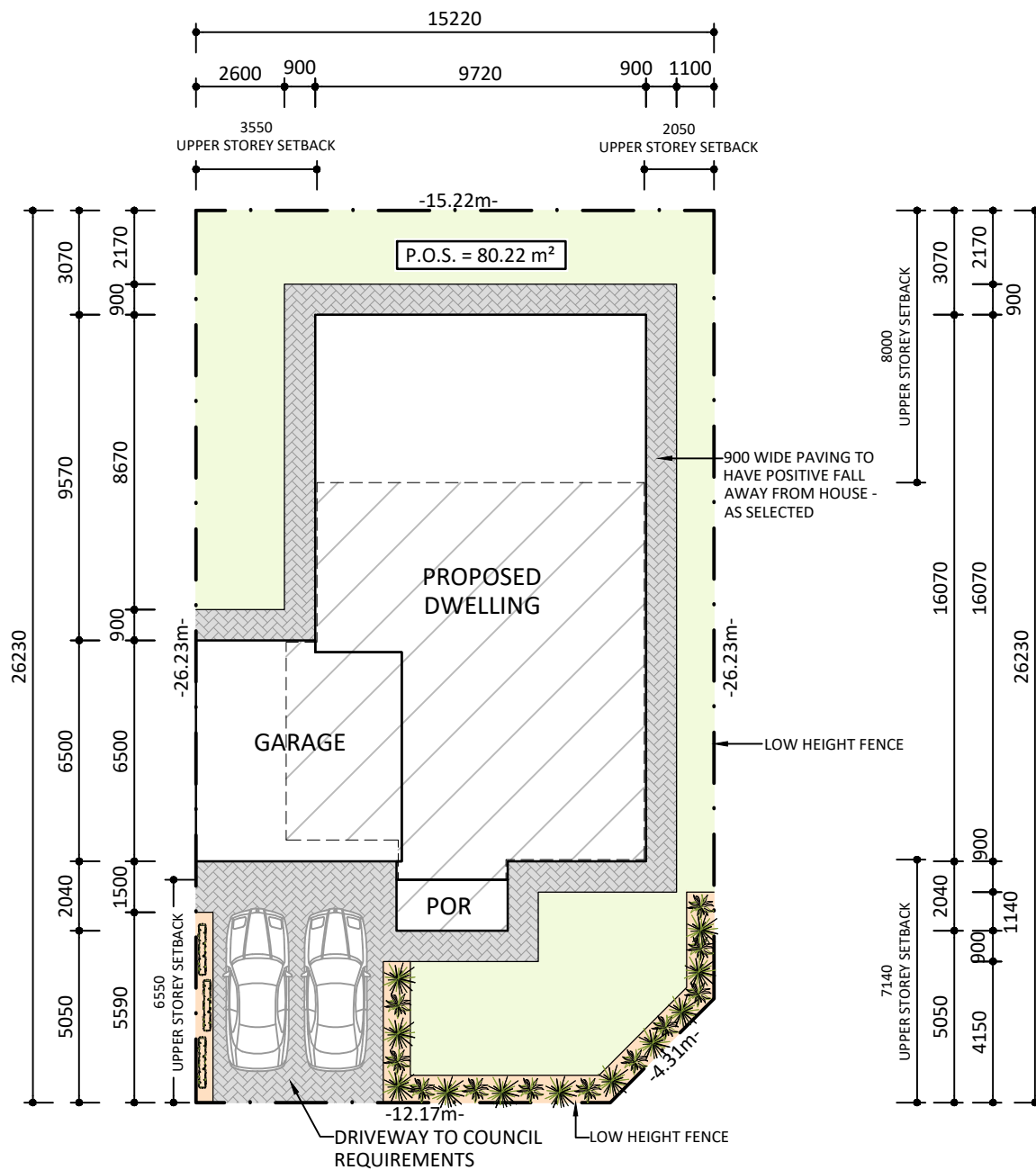
**BUILDING SCHEDULE FOR DOUBLE STOREY RESIDENCE**

**ROOF**  
COLORBOND CUSTOM ORB ROOF AT 25° PITCH AND 450 EAVES

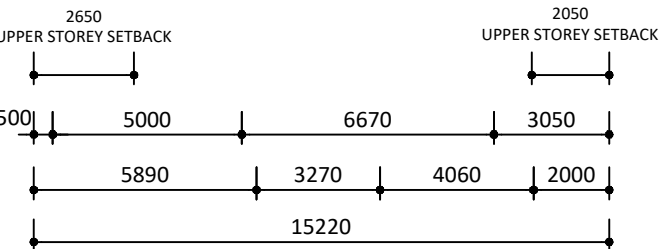
**WALLS**  
TIMBER FRAME CONSTRUCTION WITH OUTER BRICK TO LOWER FLOOR AND HEBEL PANELS TO UPPER FLOOR  
CEILING HEIGHT - 3.0m TO LOWER FLOOR & 2.7m TO UPPER FLOOR

**FLOOR**  
CONCRETE SLAB

**WINDOWS**  
POWDER COATED ALUMINIUM AWNING AND SLIDING AS SPECIFIED  
WINDOW HEAD HEIGHT - 2.4m TO ALL ELEVATIONS  
ALL INTERNAL DOORS ARE 2.4m HIGH



HINTON ROAD



CEDAR AVENUE

AREA SCHEDULE (m²)	
SITE	394.57
LOWER LIVING	142.35
UPPER LIVING	112.41
PORCH	4.91
GARAGE	38.37
CARPORT	0.00
BALCONY	4.91
ALFRESCO	0.00
TOTAL	302.94
SITE COVERAGE	190.54
SITE COVERAGE %	48
P.O.S.	80.22
P.O.S. %	20

PLANTS SCHEDULE		
BOTANICAL NAME	COMMON NAME	HEIGHT
DARWINIA	SEASPRAY	1.50 m
AUSTRODANTHONIA GENIGULATA	KNEED WALLABY-GRASS	0.4-0.7m
CONVOLVULUS ERUBESCENS	AUSTRALIAN BINDWEED	0.1-0.3 m
HOHERIA YALLII	MOUNTAIN RIBBONWOOD	4.6 m
PIRUS USSERIENSIS (ORNAMENTAL)	'MANCHURIAN PEAR'	8-10 m
PIRUS CALLERYANA (ORNAMENTAL)	'CHANTICLEER PEAR'	8-10 m
MYOPORUM PARVIFOLIUM		
IRRIGATED GARDEN BED MULCH COVERING BAER SOIL		
EXPOSED AGGREGATE		
PAVERS		

**PROPOSED SITE PLAN**  
SCALE 1:200@ A3

**WORKING DRAWINGS**

REVISION  
**R-09**

JOB#  
**19017**

WWW65@YMAIL.COM

Client: KAMALJEET S KARWAL & RAMANJIT S KARWAL

Address: LOT 100, 8 CEDAR AVENUE, GREENACRES

LOT 100, 8 CEDAR AVENUE, GREENACRES

1 OF 10

scale at A3



**BUILDING SCHEDULE FOR DOUBLE STOREY RESIDENCE**

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 COLORBOND CUSTOM ORB ROOF AT 25° PITCH AND 450 EAVES

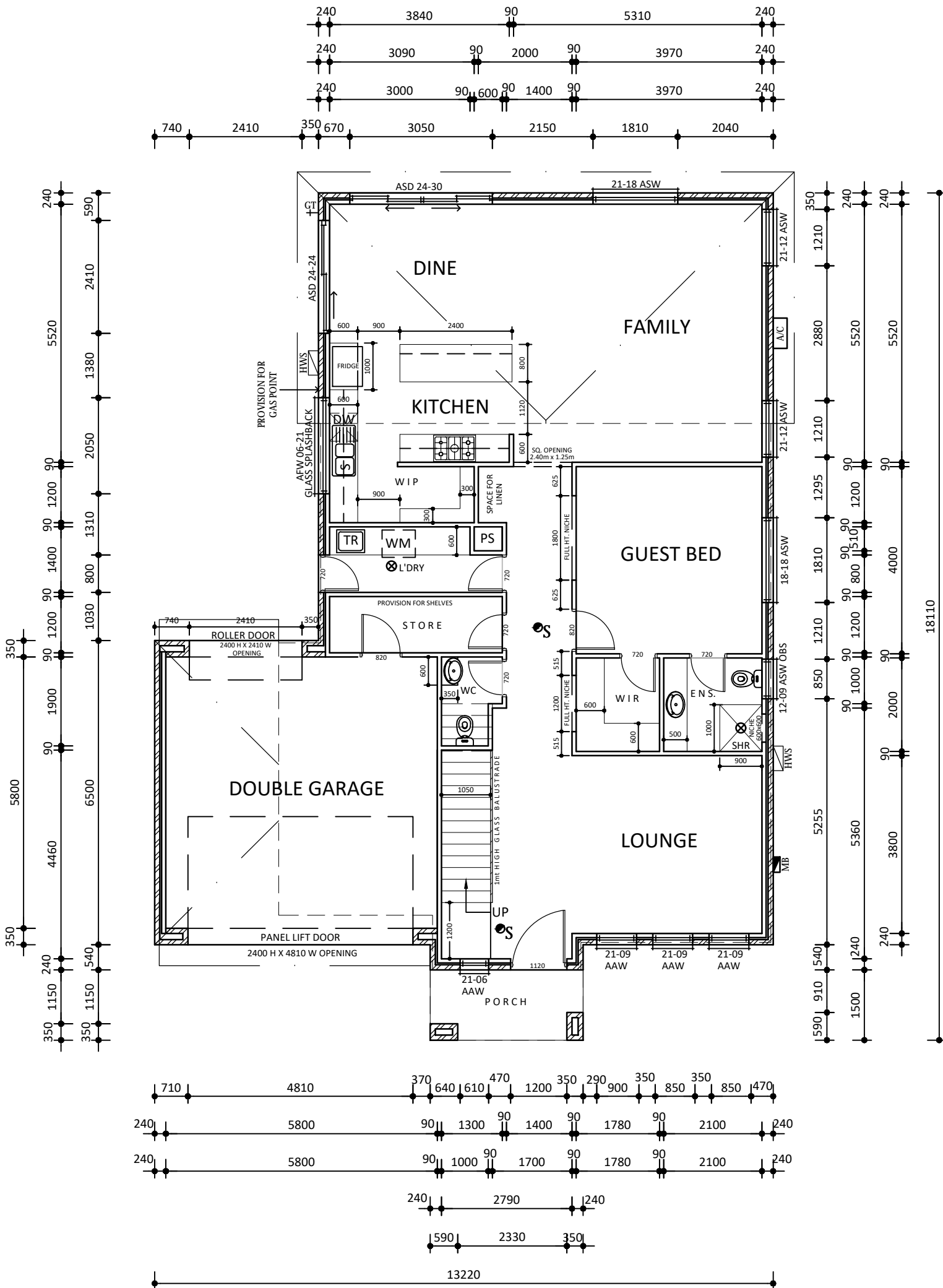
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AREA SCHEDULE(m <sup>2</sup> )	
SITE	394.57
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GARAGE	38.37
CARPORT	0.00
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**PROPOSED LOWER FLOOR PLAN**

SCALE 1:100 @ A3

**LEGEND**

	FLOOR WASTE
	SMOKE DETECTOR HARDWIRED WITH B/BACKUP
	METER BOX
	GARDEN TAP
	HOT WATER SERVICE
	AIR-CONDITIONING OUTDOOR UNIT
	PLUMBING STACK

**WORKING DRAWINGS**

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**ROOF**  
COLORBOND CUSTOM ORB ROOF AT 25°  
PITCH AND 450 EAVES

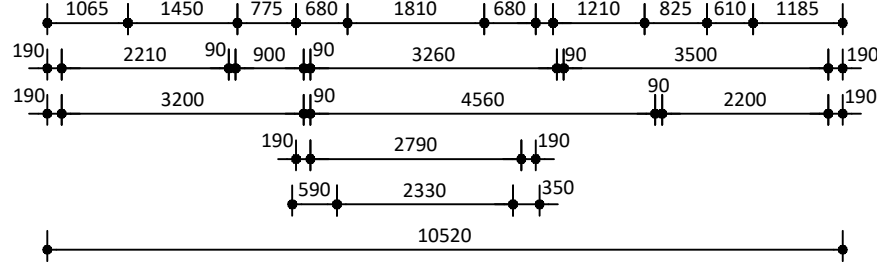
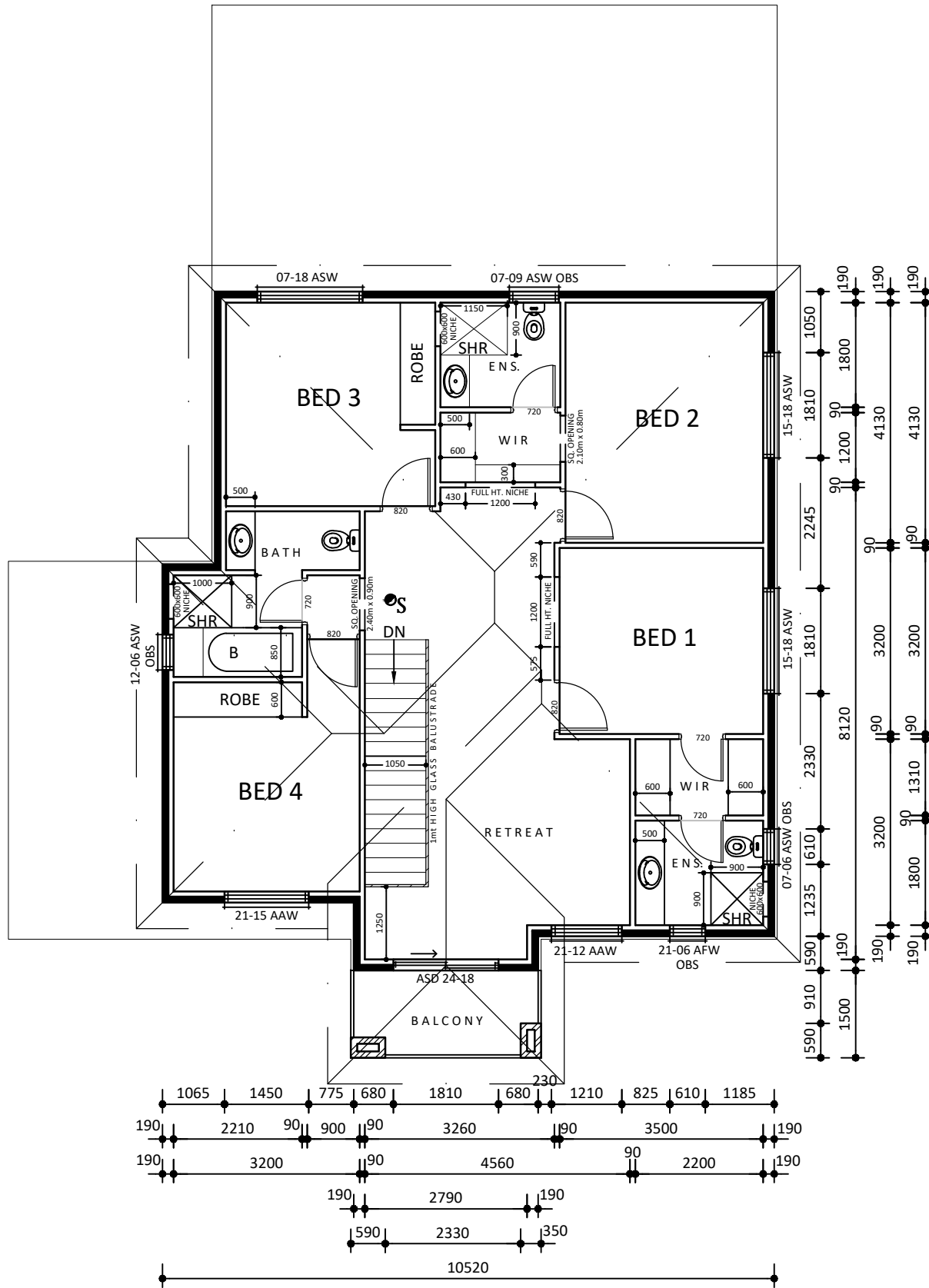
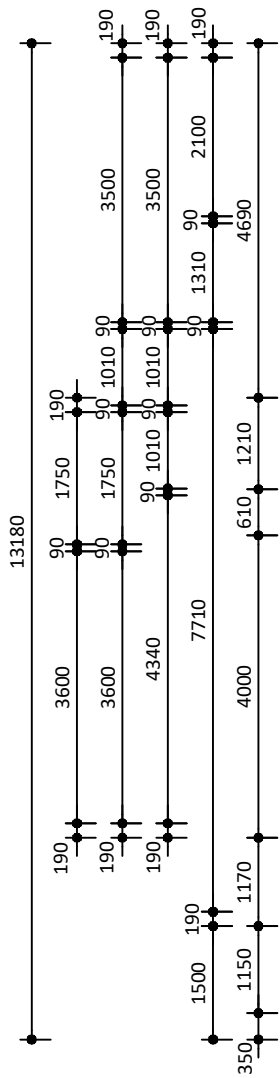
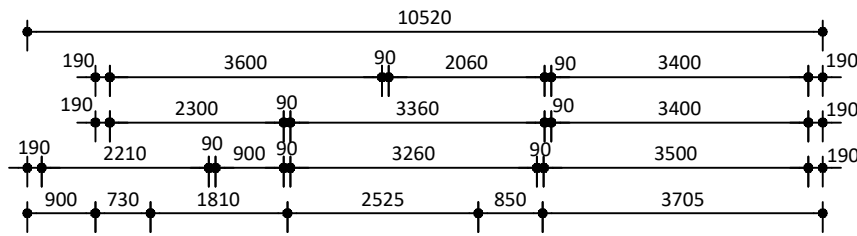
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scale at A3

**PROPOSED UPPER FLOOR PLAN**

SCALE 1:100 @ A3

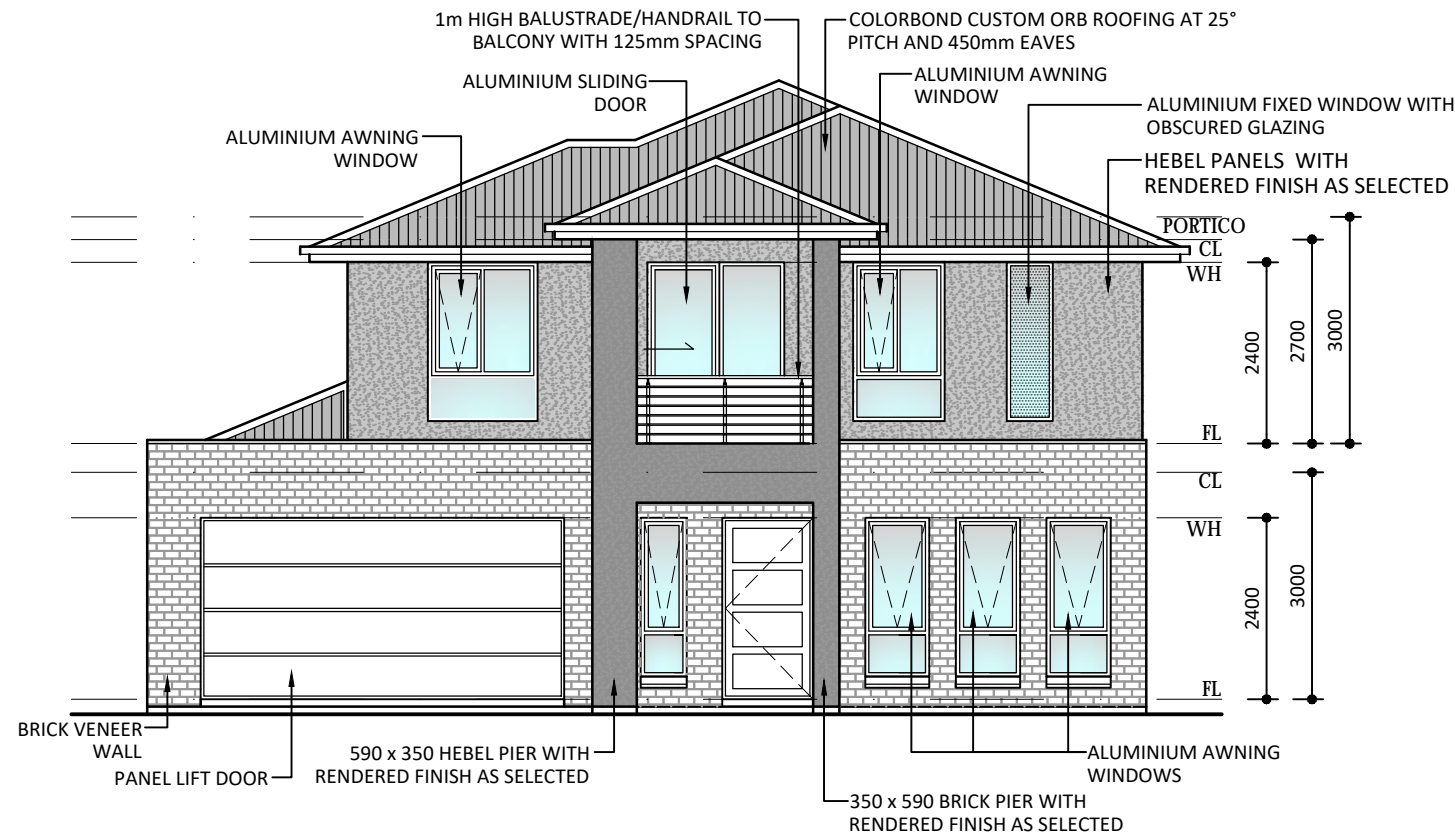
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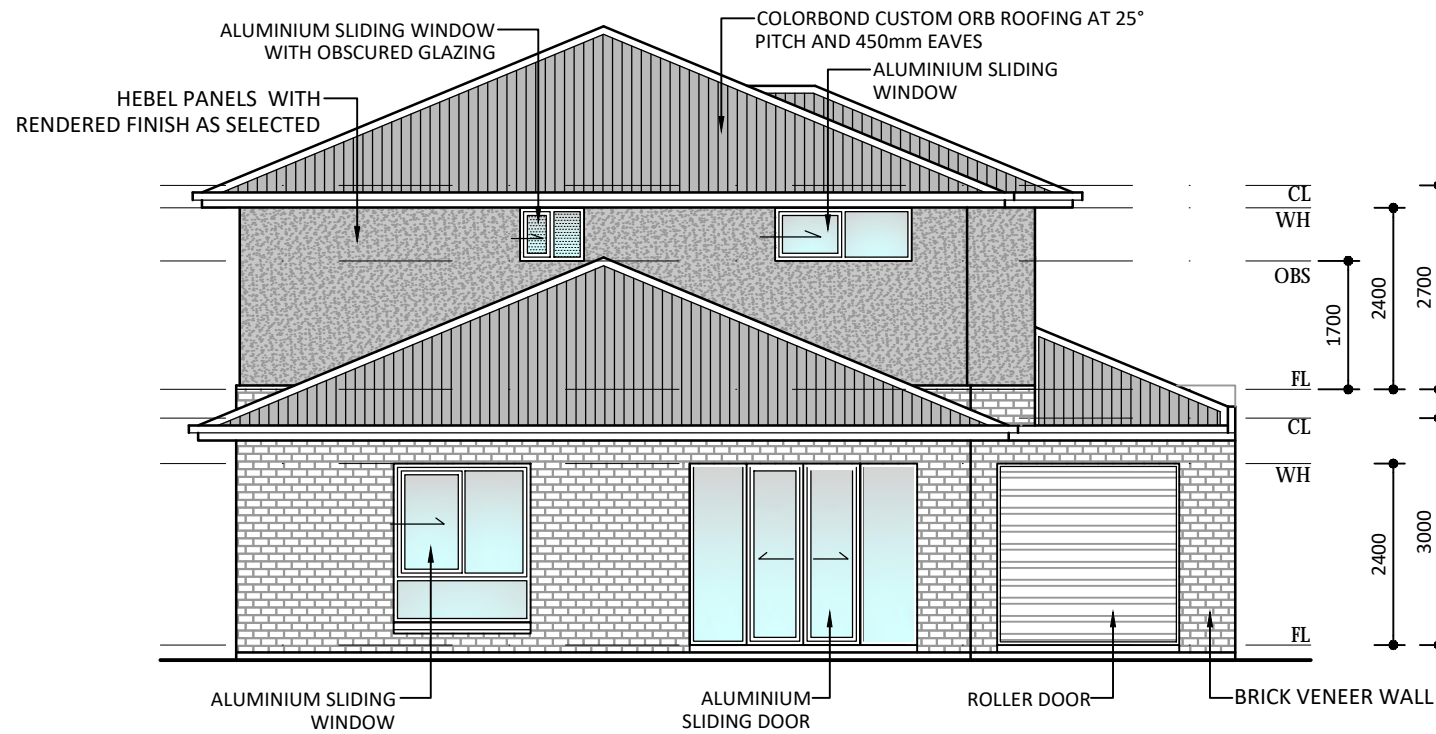
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**CEDAR AVENUE ELEVATION**

SCALE 1:100 @ A3



**EAST ELEVATION**

SCALE 1:100 @ A3

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scale at A3

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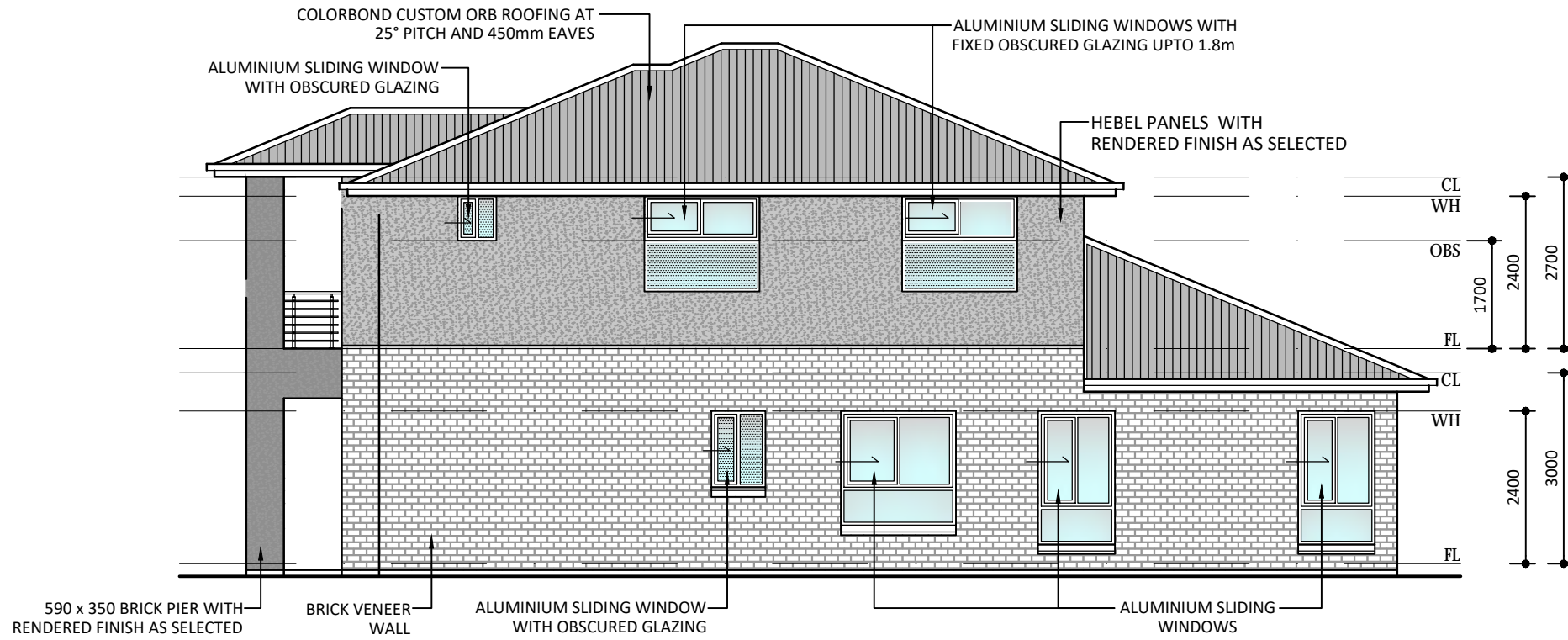
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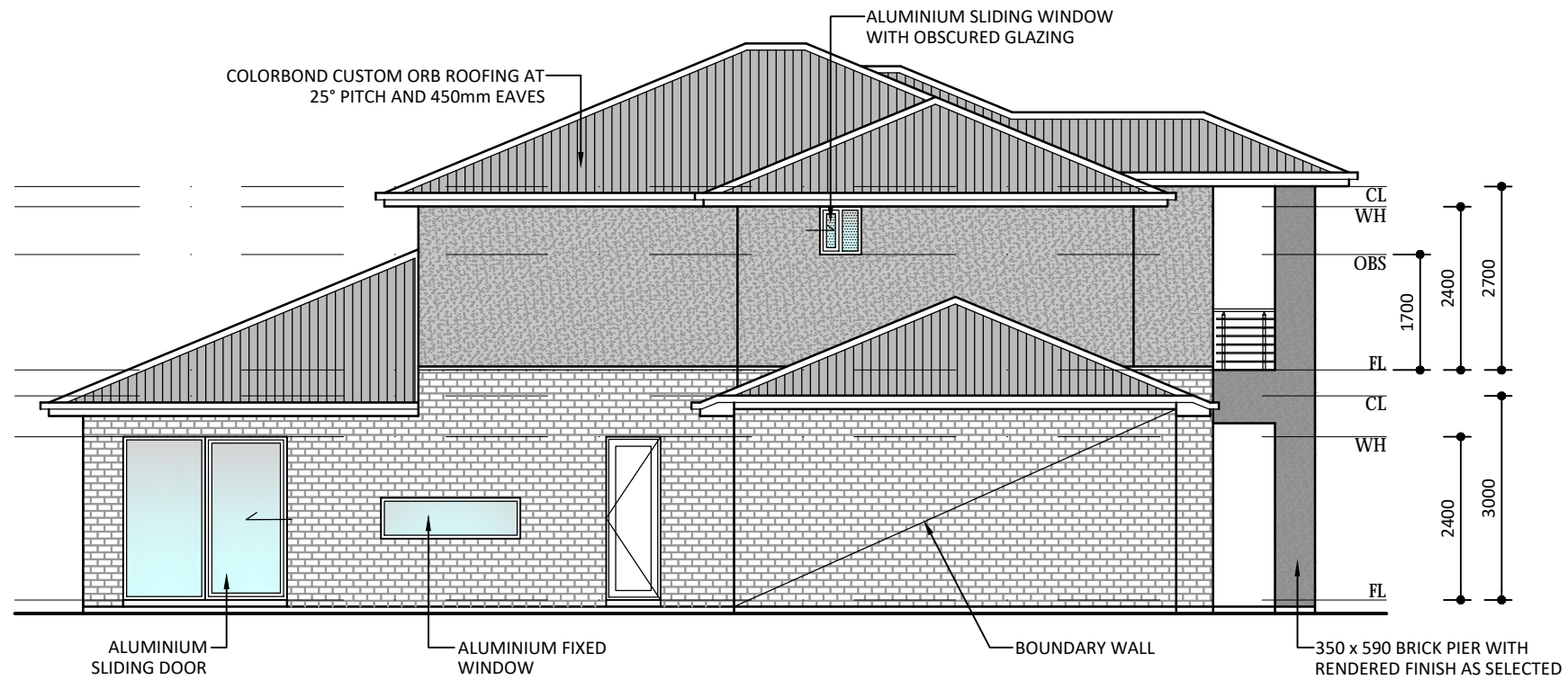
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**SOUTH ELEVATION**

SCALE 1:100 @ A3



**NORTH ELEVATION**

SCALE 1:100 @ A3

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scale at A3

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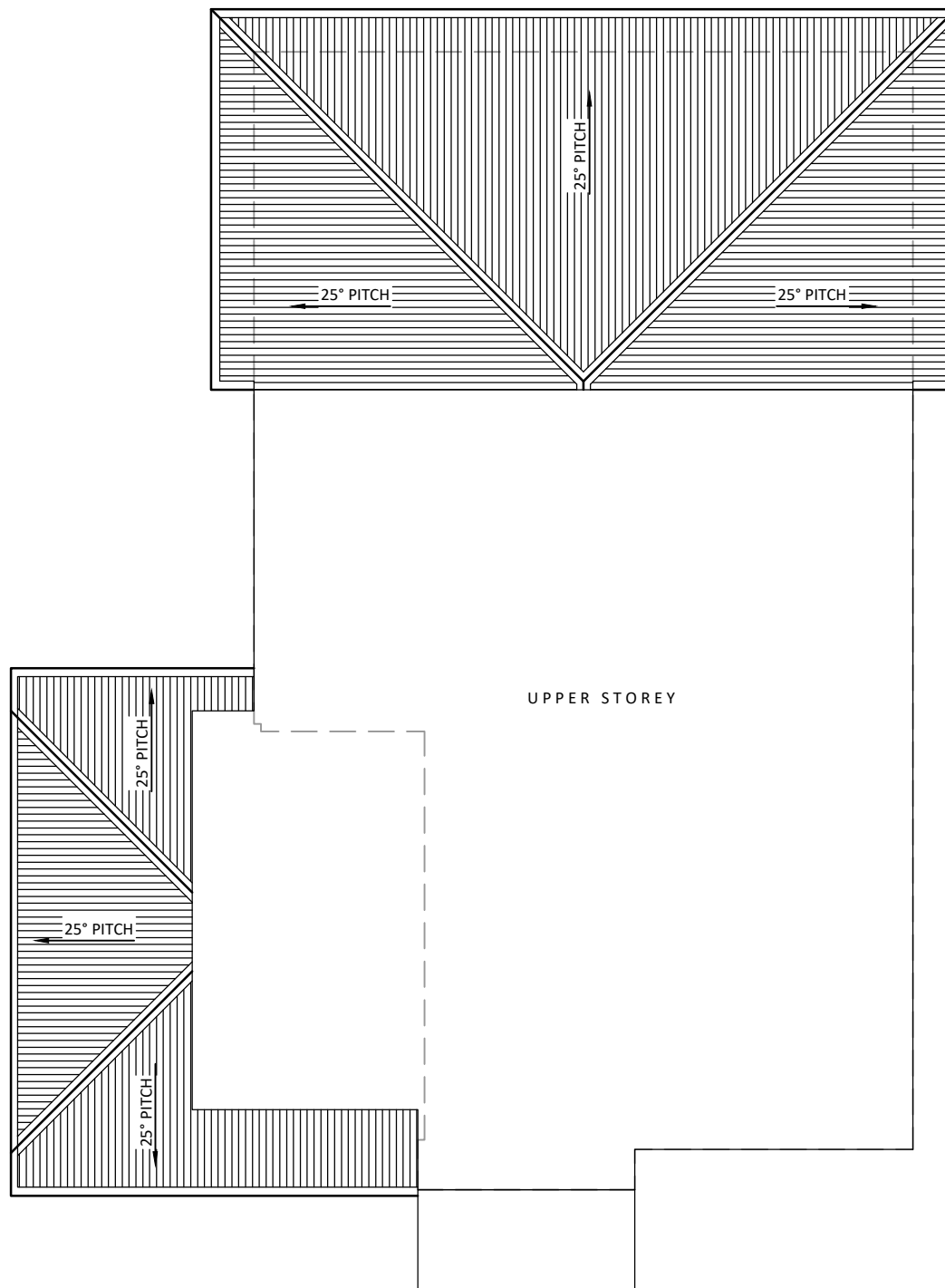
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**PROPOSED LOWER ROOF PLAN**

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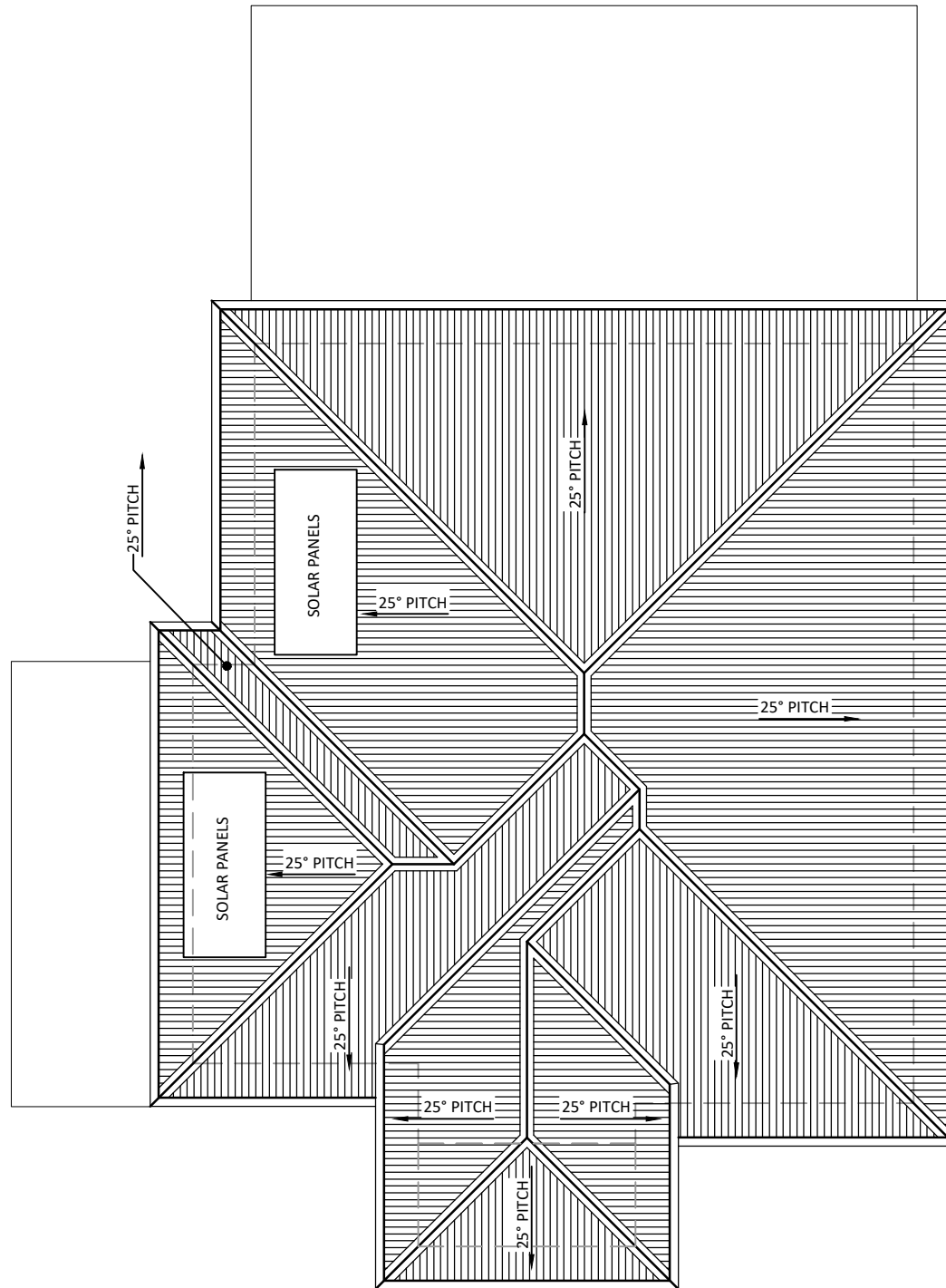
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**PROPOSED UPPER ROOF PLAN**

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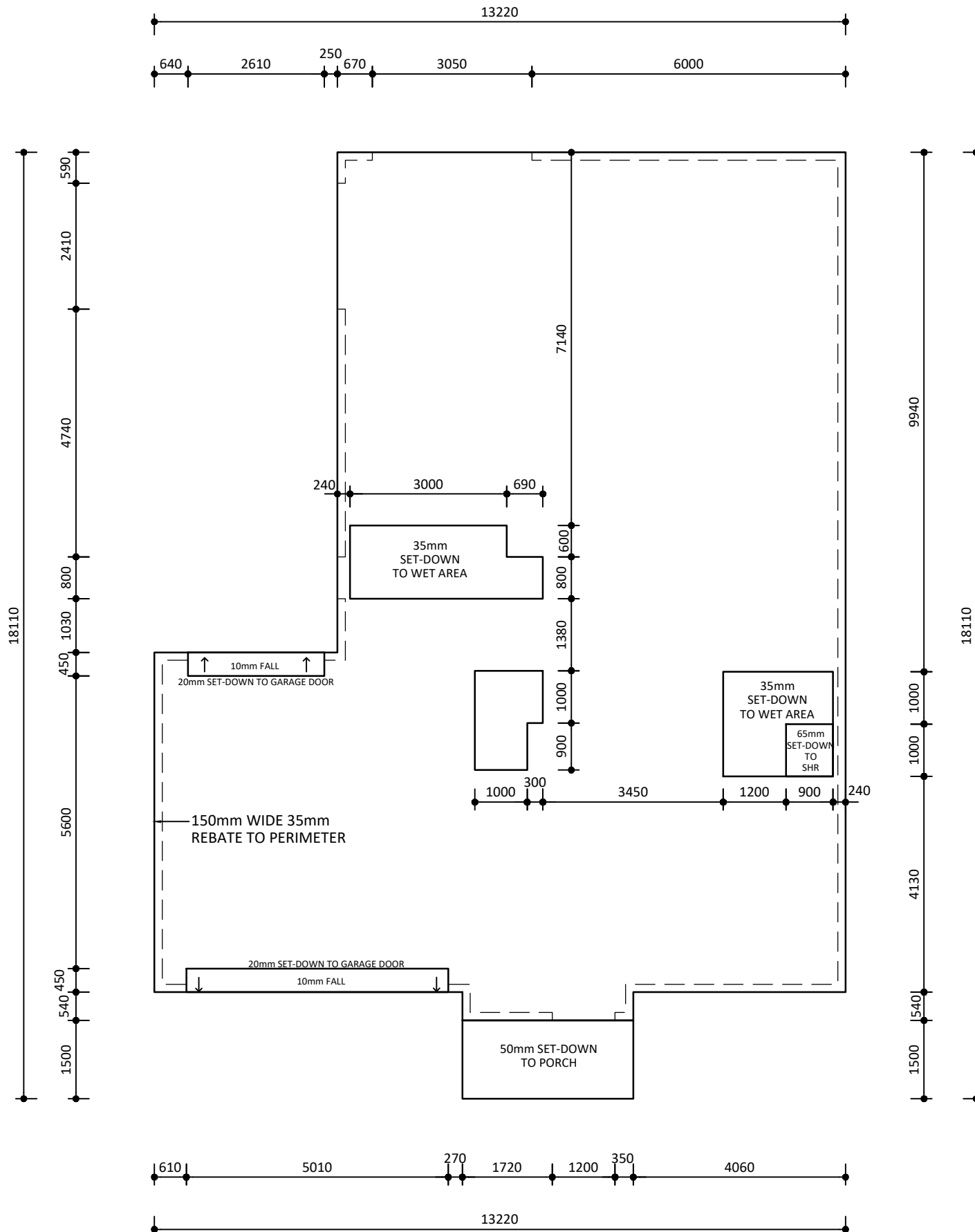
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**CONCRETE SLAB LAYOUT**

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8 OF 10

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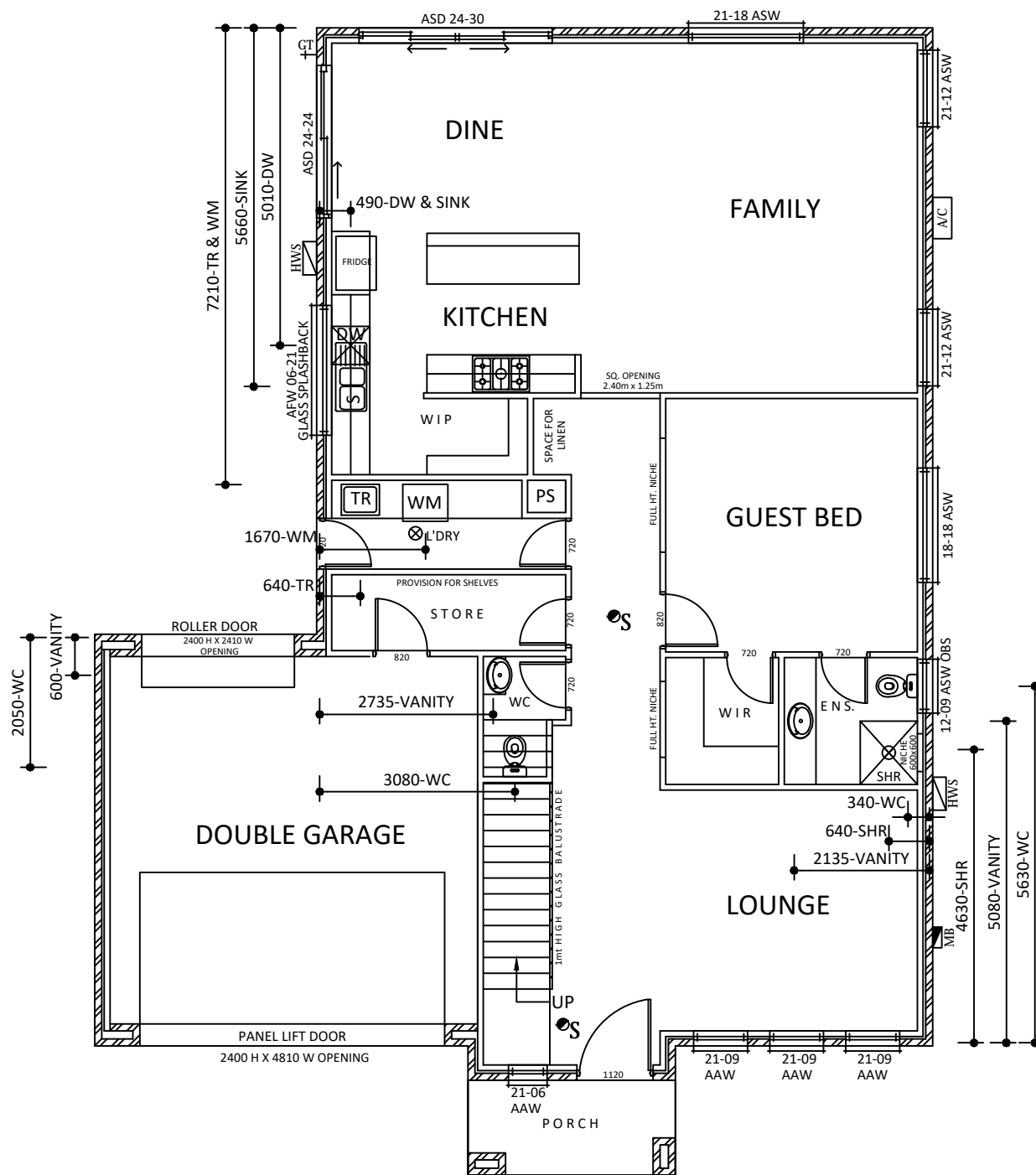
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**PLUMBING LAYOUT**

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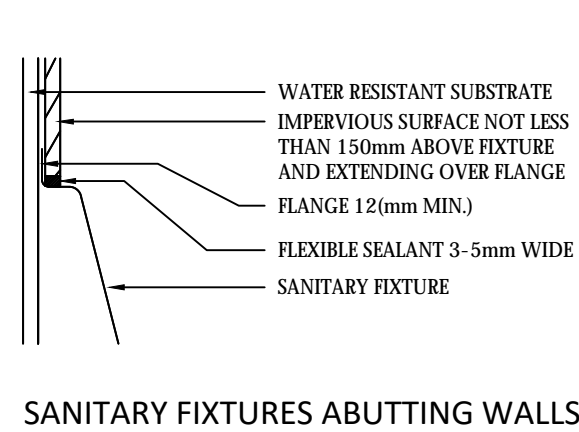
LOT 100, 8 CEDAR  
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9 OF 10

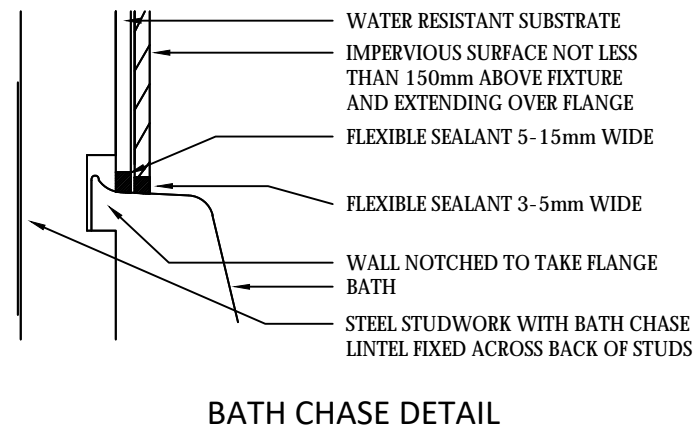
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**SPECIAL NOTES**

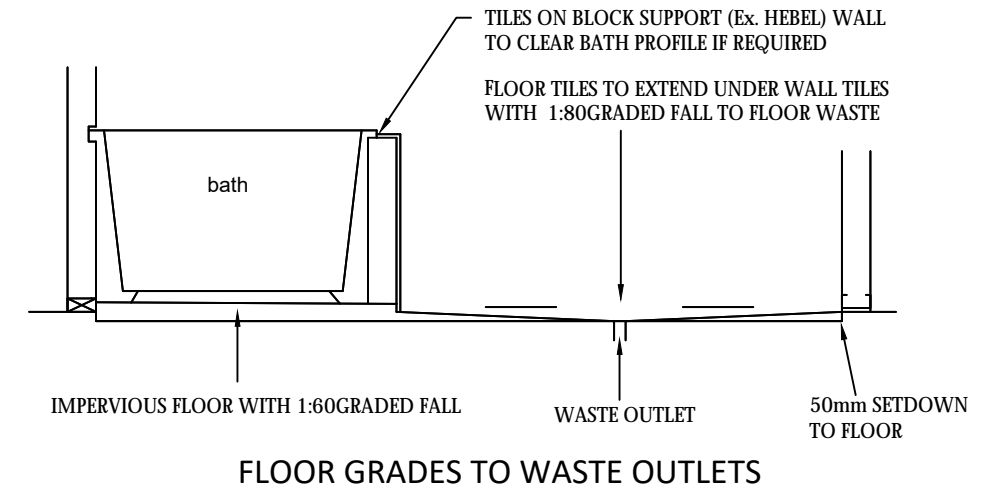
- ALL BATHROOMS TO BE LINED UP TO 1200mm HIGH MINIMUM ABOVE FLOOR LEVEL WITH WATER RESISTANT LINING AND/OR RENDER.
- JUNCTIONS OF IMPERVIOUS WALL AND FLOOR SURFACES IN CATEGORY 1 & CATEGORY 2 AREAS SHALL BE SEALED WITH NEUTRAL, SELF-CURING, FLEXIBLE SEALANTS OR POLYSULPHIDE BASED SEALANTS, COMPLYING WITH AS1526 OR AS1527.
- FLOORS IN WET AREAS SHALL BE IMPERVIOUS AND GRADED AT NOT LESS THAN 1:80 TO A REQUIRED WASTE OUTLET OR TO A SHOWER SET-DOWN CONTAINING A WASTE OUTLET.
- A ROOM CONTAINING ONLY A SINGLE WC PAN SHALL HAVE AN IMPERVIOUS FLOOR SURFACE WHICH NEED NOT BE GRADED OR DRAINED TO A WASTE OUTLET. A MINIMUM OF 90mm SKIRTING OF TILES OR SEALED TIMBER IS REQUIRED AT THE WALL AND FLOOR JUNCTION, THEN AN IMPERVIOUS WALL SURFACE IS NOT REQUIRED.
- IN ADDITION TO REQUIREMENTS FOR AN IMPERVIOUS SURFACE THE FLOORS OF ALL CATEGORY ONE AREAS SHALL BE WATERPROOFED BY THE INSTALLATION OF EITHER AN ACCREDITED SHOWER TRAY OR A PROPRIETARY SHOWER BASE. WHERE A FIXED SHOWER SCREEN IS INSTALLED, THE WATERPROOFING SHALL EXTEND:
  - UP THE INNER FACE OF THE HOB AND ACROSS THE TOP TO THE OUTER FACE OF A HOB; OR
  - WHERE THERE IS A 25mm MINIMUM SET DOWN TO THE SHOWER, 10mm PAST THE END OF THE SET DOWN; OR
  - FOR DISABLED ACCESS WHERE NO HOB OR SET DOWN IS PROVIDED. THE WHOLE OF THE ROOM FLOOR SHALL BE CONSIDERED AS THE CATEGORY ONE AREA
- A KITCHEN FLOOR IS NOT REQUIRED TO BE IMPERVIOUS OR GRADED TO A WASTE OUTLET. AN IMPERVIOUS WALL SURFACE IS NOT REQUIRED, EXCEPT WHERE A KITCHEN SINK ABUTS OR IS WITHIN 75mm OF A WALL.
- WHERE A FIXED SHOWER SCREEN IS NOT INSTALLED THE CATEGORY ONE AREA SHALL BE CONSIDERED TO EXTEND TO THE FLOOR WITHIN A HORIZONTAL RADIUS OF 1500mm OF THE SHOWER OUTLET. THE IMPERVIOUS FLOOR SURFACE WITHIN THE SHOWER ENCLOSURE SHALL BE GRADED AT A MINIMUM OF 1:60 TO A SHOWER TRAP. WHERE THE FLOOR OUTSIDE THE SHOWER IS NOT DRAINED INTO THE SHOWER TRAP, A FLOOR TRAP SHALL BE PROVIDED.
- ALL SHOWER TRAYS SHALL BE DRAINED INTO A DRAINAGE FLANGE IN THE SHOWER TRAP. THE HEIGHT OF THE SIDES ABOVE THE HIGHEST POINT OF THE FINISHED FLOOR SURFACE SHALL BE A MINIMUM OF 100mm ABOVE THE SHOWER FLOOR LEVEL OR A MINIMUM OF 75mm ABOVE AN ADJOINING STRUCTURAL FLOOR LEVEL OR 25mm ABOVE THE MAXIMUM POSSIBLE WATER LEVEL IN THE SHOWER COMPARTMENT WHICHEVER IS GREATER. AN EXTERNAL TRAY SHALL RETURN UP THE STUD-SIDE OF THE WALL BE ADHERED TO THE FLOOR, BUT SHALL NOT BE FIXED TO THE STUD WALL AN INTERNAL TRAY SHALL BE AN ACCREDITED SYSTEM WHICH IS SEALED AGAINST THE SUBSTRATE, OR WALL LINING



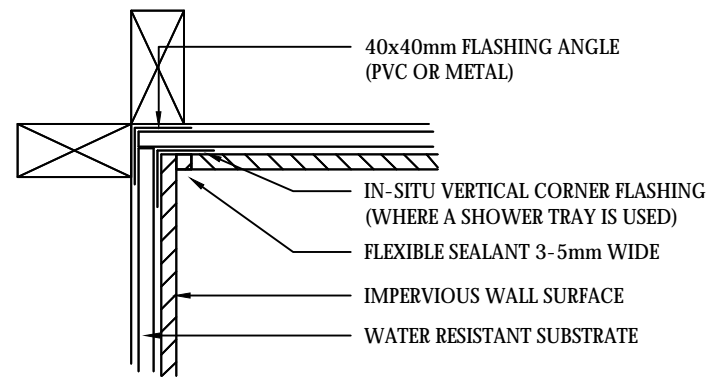
**SANITARY FIXTURES ABUTTING WALLS**



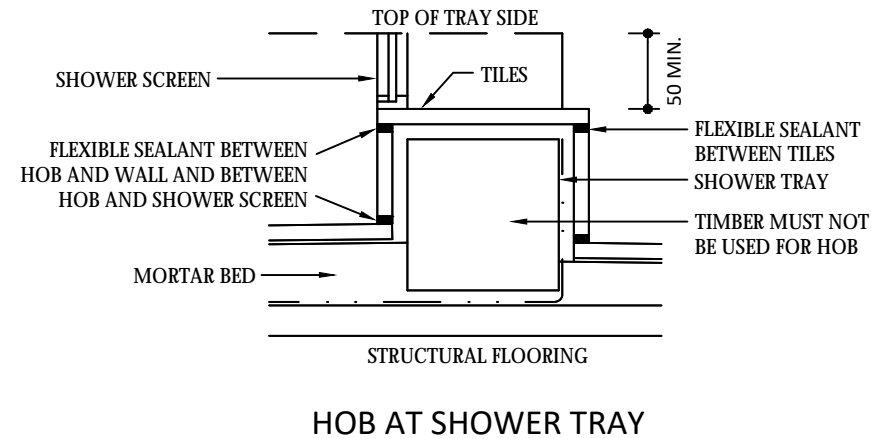
**BATH CHASE DETAIL**



**FLOOR GRADES TO WASTE OUTLETS**



**WALL JUNCTION**



**HOB AT SHOWER TRAY**

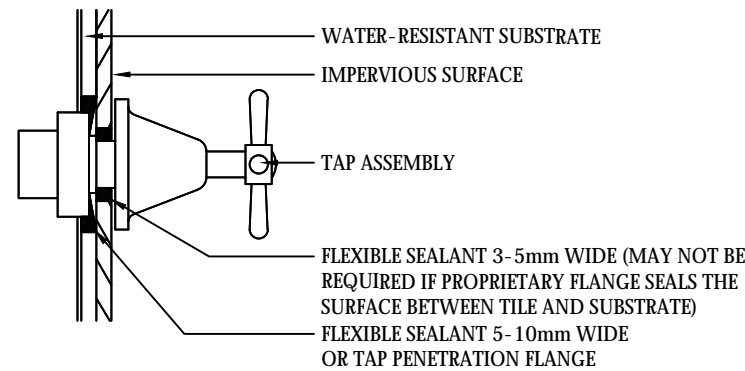
**WET AREA NOTATIONS**

WET AREAS TO COMPLY WITH BCA VOLUME TWO - 2016; SA 3.8.1.2, SA 3.2.2 AND AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS (TO COMPLY WITH THE BCA PERFORMANCE REQUIREMENT 2.4.1)

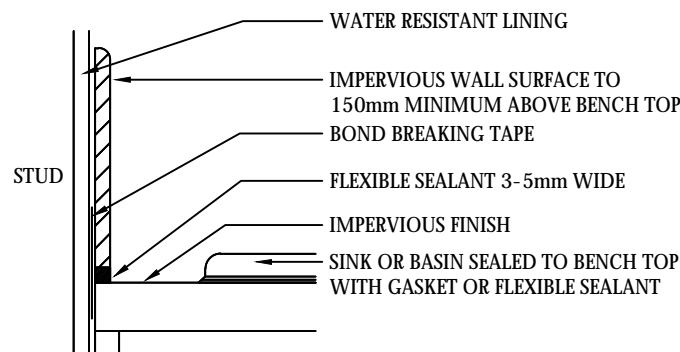
- .. SHOWER AREA (CATEGORY 1)
- .. FLOOR - IMPERVIOUS WITH SHOWER TRAY OR BASE
- .. DRAINAGE - 1:60 MINIMUM GRADE TO SHOWER TRAP. SHOWER TRAYS DRAINED TO FLANGE IN SHOWER TRAP
- BATH AND LAUNDRY
  - .. FLOOR - IMPERVIOUS
  - .. DRAINAGE - BATH - 1:80 MINIMUM TO FLOOR TRAP. MAY BE DRAINED TO SHOWER TRAP WHERE HOB NOT USED
  - .. DRAINAGE - LAUNDRY - 1:80 MINIMUM TO TRAP
- SINGLE ROOM CONTAINING WC
  - .. FLOOR - IMPERVIOUS
  - .. DRAINAGE - NO REQUIREMENT

NOTE: FLOORING TO BE OF IMPERVIOUS FLOOR SHEETING OR SIMILAR APPROVED FLOORING AS SPECIFIED

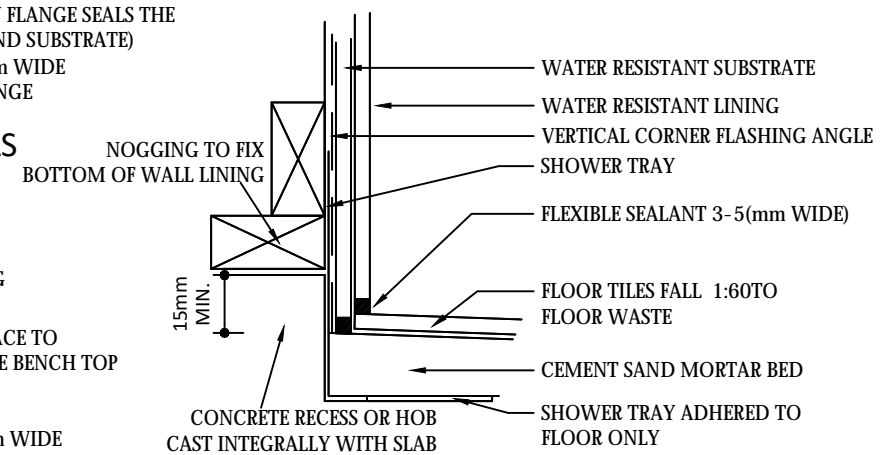
INSTALLATION OF PREFORMED SHOWER BASES SHALL COMPLY WITH THE REQUIREMENTS OF THE MANUFACTURERS SPECIFICATIONS. ANY ALTERNATIVE WATERPROOFING SYSTEM SHALL BE AN ACCREDITED INSTALLATION SYSTEM IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS



**PENETRATIONS THROUGH WALLS IN SHOWER AREAS**



**WALL AND BENCH TOP JUNCTION WITH INSET FIXTURE**



**WATERPROOFING OF SHOWER WALL AND FLOOR JUNCTIONS**

**WORKING DRAWINGS**

REVISION  
**R-09**  
JOB#  
**19017**

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